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- Any use of these plans, or modifications thereto, by purchasers, contractors, builders, or others, is performed at their own risk. The information contained within these construction documents is issued to show design intent and basic framing details. It is the contractor/builder's responsibility to provide standard construction detailing and practices, which will provide a structurally sound and weatherproof finished product. The contractor/builder shall resolve any discrepancies or problems observed or perceived prior to starting construction of such items.
- Building codes vary depending on differences in geography and climate in different regions. Each state, county, and municipality has its own building codes, zoning requirements, ordinances and building regulations. Plans may need to be modified to comply with local requirements regarding snow loads, energy codes, soil and seismic conditions and a wide range of other influences. It is the purchaser's responsibility to consult with the proper construction professional(s) to ascertain if the plans comply with the codes governing the licensee's building site and, if necessary, make any changes or verifications required.
- These plans do not include any plumbing, heating or air conditioning plans due to the wide variety of codes and basic climatic conditions. A local electrical engineer, mechanical engineer or contractor/builder shall coordinate these items, as they may be required for permits and construction. The foundation plan and associated details are provided as a basic guide for a basement space, where applicable, with CMU, ICF, or poured in place concrete walls and a wood framed system. Exact site conditions may vary and require stepped foundation, increased wall height, etc. The design should be verified according to its appropriateness to the region it is being constructed. A local architect or licensed engineer shall provide a site specific foundation design where deemed necessary by the builder or governing Authority Having Jurisdiction.
- These plans provide ideas and concepts and are not intended to be complete in all respects and details. Use of a potential variety of window or door brands and types and uses of different materials and thicknesses can change details. Additionally, varying codes and regulations, foundation requirements and the omission of electrical and mechanical plans can also change details.
- It is the contractor/builder's responsibility to assure that all work is in strict accordance with the locally adopted and applicable National, State, and Local Building Codes. It is the contractor/builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable Construction Standards.
- It is the contractor/builder's responsibility to assure that all manufactured articles, material, and equipment are applied, installed, connected, erected, used, cleaned, adjusted, operated, and conditioned as directed by the manufacturers recommendations/requirements, unless herein specified to the contrary. The contractor/builder shall follow all instructions to sustain and preserve all expressed or implied warranties and guarantees.
- It is the contractor/builder's responsibility to assure that all material, equipment and components are new and of good quality.
- It is the contractor/builder's responsibility to check all plan dimensions and details for overall accuracy appropriate to the site and final selection of masonry, floor joists, lumber structural members, veneer, roofing, etc., all of which can create revised dimensions and details. For example, substitution of alternate floor framing type could adjust floor thickness and require adjustment to stair riser dimensions/quantity, etc. THIS REVIEW SHALL OCCUR PRIOR TO START OF CONSTRUCTION. The contractor/builder shall notify Studio Mork, LLC of any discrepancies or substitutions prior to start of construction.
- Material/manufacturer selections of elements/features that are visible from the exterior shall be in accordance with Provenance PUD Design Standards and/or shall be submitted, reviewed, and approved by the Local Design Review Board. Elements of suggested design approach include but are not limited to, exterior light fixtures, porch flooring materials, and door/window/door color scheme.
- Names of materials and manufacturers shown on the plans do not represent any endorsement or recommendation by Studio Mork, LLC. Final selections of materials to be used are the responsibility of the homeowner and/or builder, including but not limited to proper installation of materials, nailing, gluing, caulking, insulation, flashing, roofing, waterproofing, and many other small items and details not necessarily indicated on the plans over which Studio Mork, LLC has no control or responsibility. Studio Mork, LLC shall not be held liable for any errors, omissions, or deficiencies in any form by any part whatsoever.
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- Contractor shall have flexibility to substitute finishes and/or appliances, fixtures, cabinetry, hardware, doors, etc, where such alterations do not impact code related requirements.

SOUTH MAIN

KEY - REDFIELD RESIDENCE

SOUTH MAIN | LOT 7-6
BUENA VISTA, COLORADO



NORTH ELEVATION

PROJECT TEAM

ARCHITECT STUDIO MORK, LLC
210 MARY STREET
DOWNTOWN, PA 19335
(717)602.0107

CONTRACTOR 361 DEGREES, INC
201 MILWAUKEE STREET #200
DENVER, CO 80202

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NOISE CERTIFICATION
BY A LICENSED ENGINEER
FOR CONSTRUCTION

KEY - REDFIELD RESIDENCE
SOUTH MAIN LOT 7-6
BUENA VISTA, COLORADO

PROJECT DATA

APPLICABLE CODE(S):

- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2015 INTERNATIONAL FIRE CODE
- 2008 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 INTERNATIONAL FUEL & GAS CODE
- 2020 NATIONAL ELECTRICAL CODE

BUILDING AREA (GROSS)

AREA (SF)
1,228
629
599
167
733
49
593
91
543
272

BUILDING ENVELOPE REQUIREMENTS (IECC Table 402.1.1)

CLIMATE ZONE 6, RESIDENTIAL

ROOFS
ATLIC & OTHER R-49*

WALLS ABOVE GRADE
WOOD FRAMED WALL R-19

FLOORS
JOIST/FRAMING R-30

SLAB/ON GRADE
UNLIMITED SLABS 10.4 FEET

* AS PER IECC 402.2.1 R-30 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES.

AS PER IECC 402.2.9 FOR CEILING WITHOUT ATTICS, R-30 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR VALUES ABOVE R-30 WHERE THE DESIGN OF THE ROOF CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE MINIMUM REQUIRED INSULATION. THIS REDUCTION SHALL BE LIMITED TO 500 SF OR 20% TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS.

USE AND OCCUPANCY

RESIDENTIAL

FIRE PROTECTION

NON-SPRINKLED

CONSTRUCTION TYPE

TYPE VB

BUILDING HEIGHT

MAIN HOUSE
2 STORES: HEIGHT 34'11" (FROM GRADE TO RIDGE)
ACCESSORY DWELLING UNIT
3 STORES: HEIGHT 33'0" (FROM GRADE TO RIDGE)

ABBREVIATIONS

ALUM ALUMINUM	EXT EXTERIOR	OC ON CENTER	UNO UNLESS NOTED OTHERWISE
ADU ACCESSORY DWELLING UNIT	FOUND FOUNDATION	PLYWD PLYWOOD	V VENT
AFF ABOVE FINISH FLOOR	FT FEET	PNT PAINT	WD WOOD
AHU AIR HANDLING UNIT	GALV GALVANIZED	PT PRESSURE TREATED	WF WEEP
BALC BALCONY	GWB GYPSUM WALL BOARD	RCP REFLECTED CEILING PLAN	WINDW WINDOW
B O BOTTOM OF	INSUL INSULATION	RE REFER TO	
CJ CENTERLINE	INT INTERIOR	REC RECOMMENDED	
CM COMMERCIAL	IN INCH	REQ REQUIRED	
COMP COMPRESSIBLE	KDAT KILN DRIED AFTER TREATMENT	SECT SECTION	
CONC CONCRETE	MECH MECHANICAL	SPEC SPECIFICATION	
CONT CONTINUOUS	MFR MANUFACTURER	STL STEEL	
CORR CORRUGATED	MH MAIN HOUSE	STRCT STRUCTURAL	
DIA DIAMETER	MN MINIMUM	TEMP TEMPERATURE	
DM DIMENSION	MTL METAL	T O TOP OF	
DS DOWNSPOUT	NOM NOMINAL	TYP TYPICAL	
DTL DETAIL			
ELEC ELECTRICAL			
ELEV ELEVATION			



NOTES

REVISION:

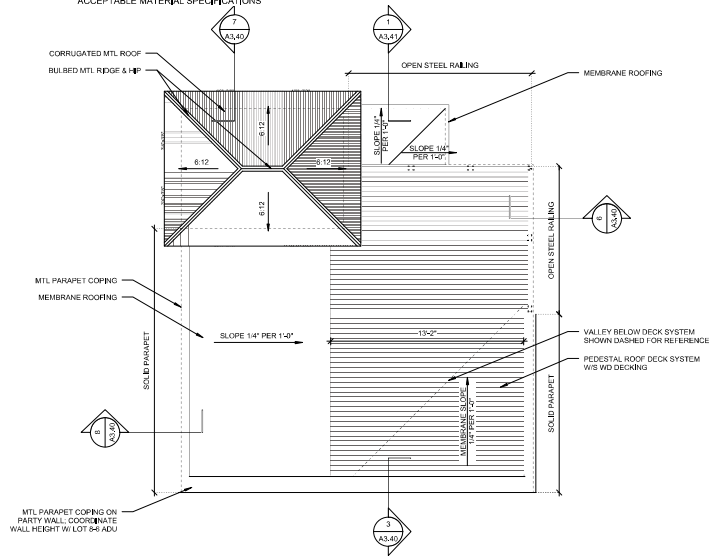
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DATE: JULY 30, 2022
PROJECT NUMBER: 22-410

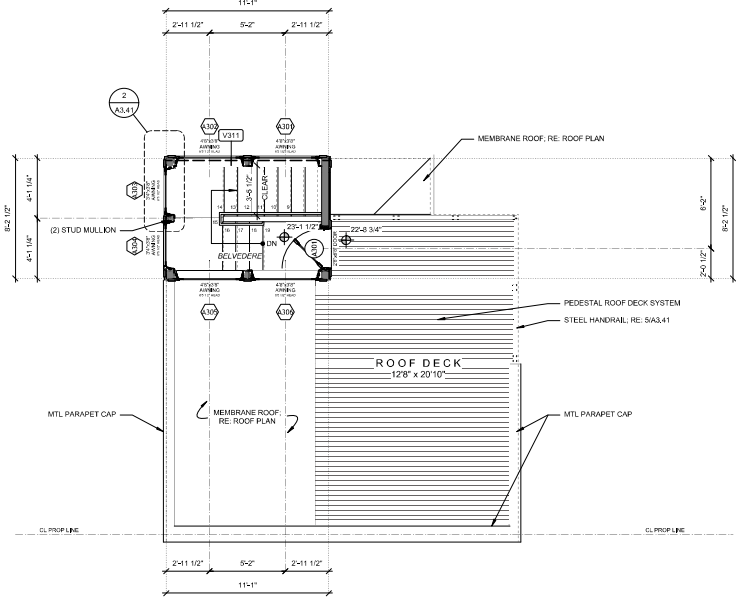
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GENERAL NOTE:

1) FOR RATED CONSTRUCTION LOCATIONS, REFER TO UL ASSEMBLIES FOR ACCEPTABLE MATERIAL SPECIFICATIONS

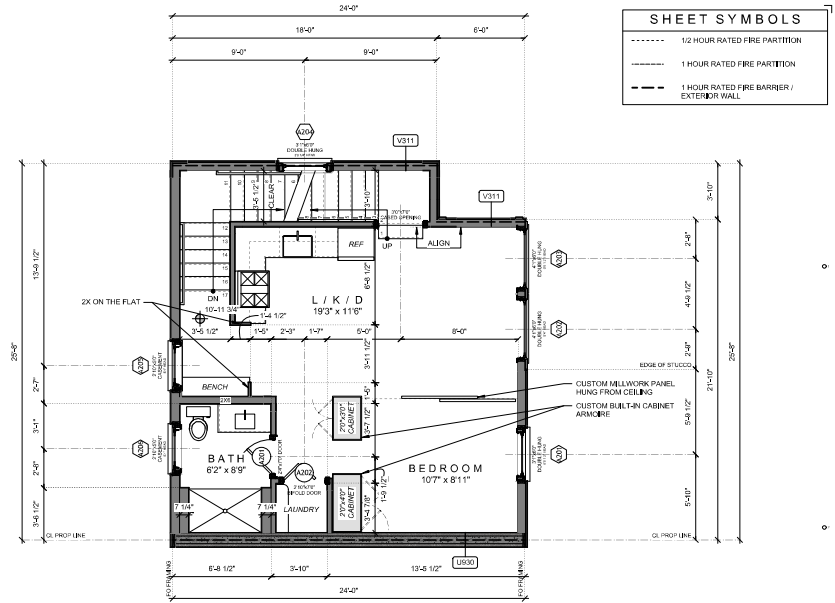


4 ADU - ROOF PLAN
1/4" = 1'-0"



2 ADU - BELVEDERE / DECK PLAN
1/4" = 1'-0"

3 ADU - SECOND FLOOR PLAN
1/4" = 1'-0"



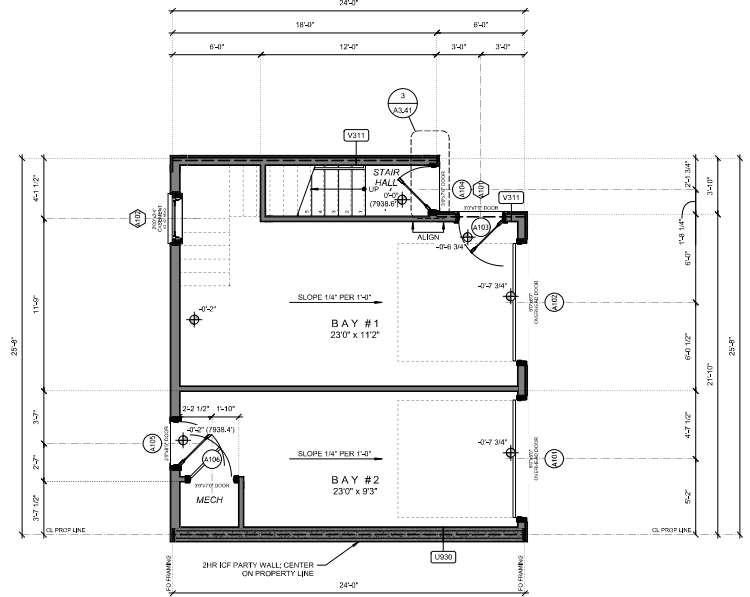
SHEET SYMBOLS	
-----	1/2 HOUR RATED FIRE PARTITION
-----	1 HOUR RATED FIRE PARTITION
-----	1 HOUR RATED FIRE BARRIER / EXTERIOR WALL



341 DEGRESS, INC.
200 RAHWAYER STREET #100
DENVER, COLORADO 80202
BUILDER
970.206.1271 (T)

100% CONSTRUCTION
1. APPROVED FOR
CONSTRUCTION

1 ADU - FIRST FLOOR PLAN
1/4" = 1'-0"



KEY - REDFIELD RESIDENCE
SOUTH MAIN LOT 7-6
BUENA VISTA, COLORADO

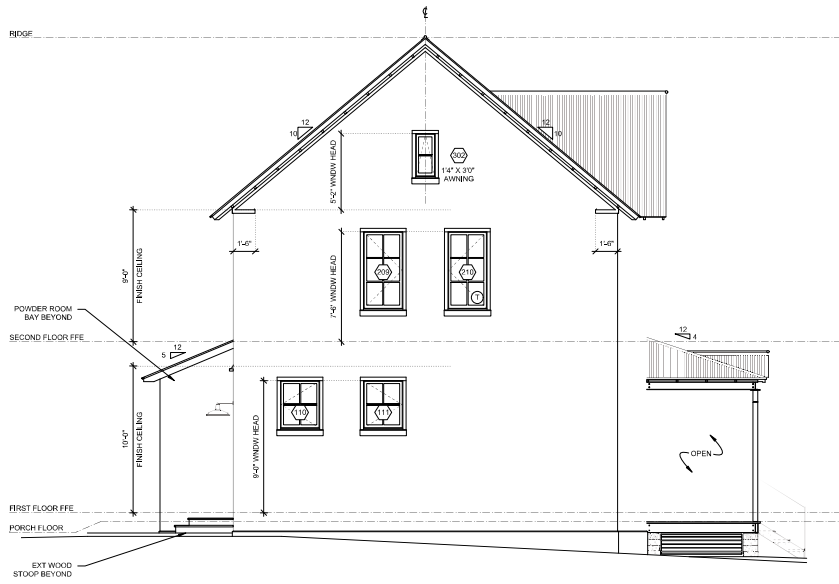
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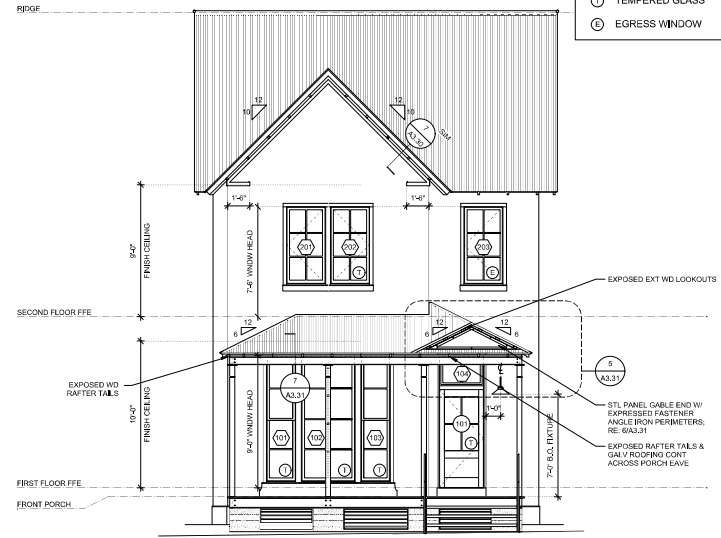
DATE:
JULY 30, 2022
PROJECT NUMBER:
25-010

ADU PLANS

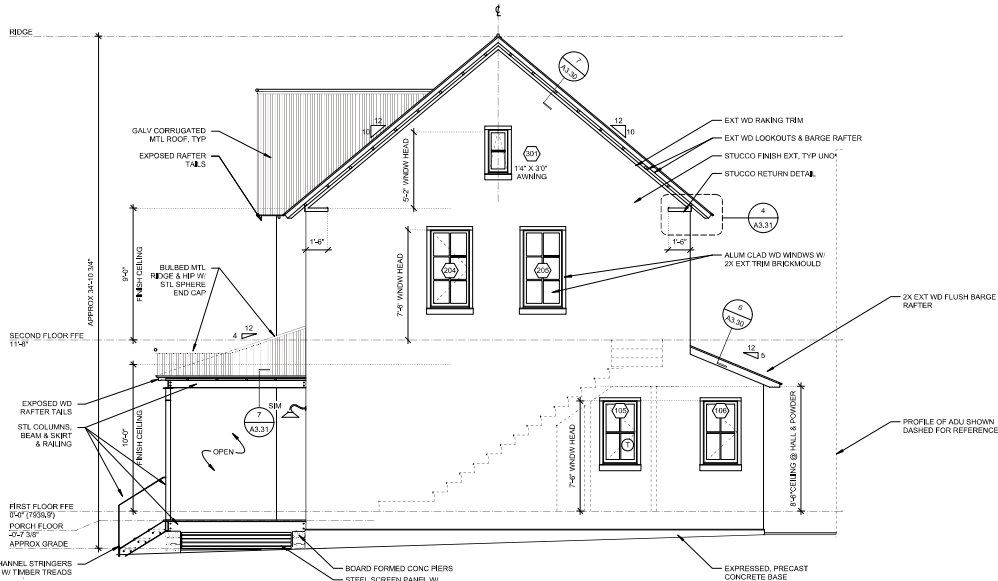
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4 EAST ELEVATION
14'0" = 1'-0"



3 NORTH ELEVATION
14'0" = 1'-0"



2 WEST ELEVATION
14'0" = 1'-0"



1 SOUTH ELEVATION
14'0" = 1'-0"

SHEET SYMBOLS	
①	TEMPERED GLASS
②	EGRESS WINDOW

STUDIO WORK, LLC
270 May Street
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BRIAN WORK - ARCHITECT
833.207.1071 (T)
brian@studiowork.com
www.studiowork.com

381 DEGRESS, INC
200 MILLIKEN STREET #100
DENVER, COLORADO 80202
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100% COMPLIANT WITH
LEED CERTIFICATION FOR
RESIDENTIAL

KEY - REDFIELD RESIDENCE
SOUTH MAIN LOT 7-6
BUENA VISTA, COLORADO

DATE: JULY 30, 2022
PROJECT NUMBER: 25-510
ELEVATIONS

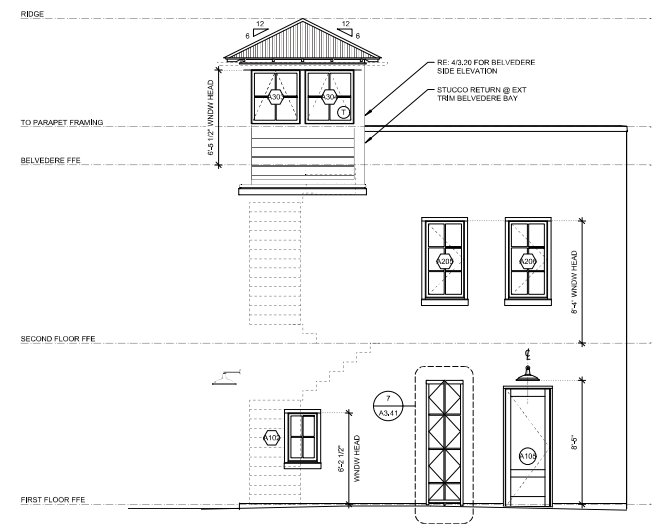
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SHEET SYMBOLS	
①	TEMPERED GLASS
②	EGRESS WINDOW

STUDIO WORK, LLC
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Dover, PA 17335
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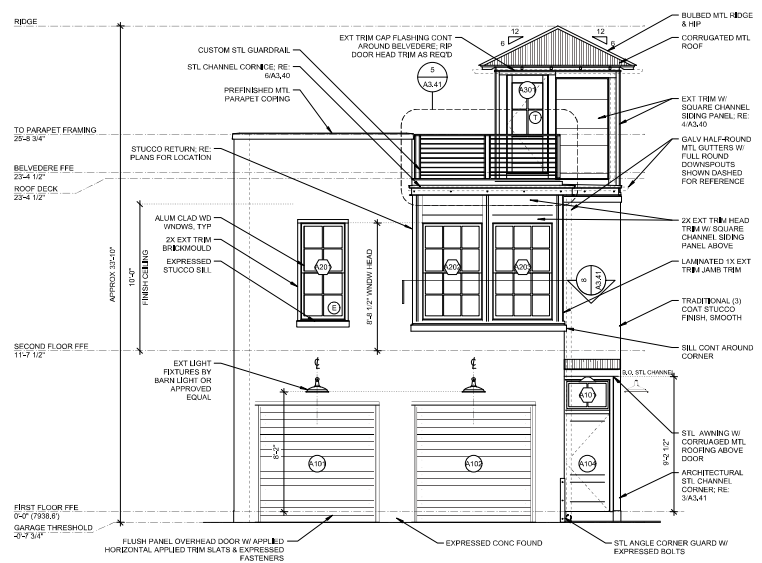
361 DESIGN, INC.
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100% COMPLIANT WITH
LOCAL ORDINANCES FOR
CONSTRUCTION

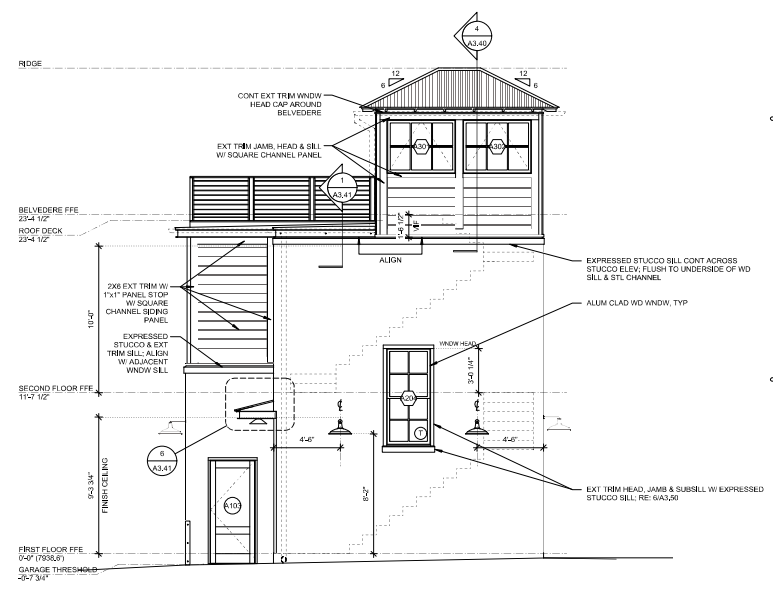


3 ADU - NORTH ELEVATION
1/4" = 1'-0"

NOTE:
FOR ITEMS NOT NOTED, RE: 2/A3.01



2 ADU - SOUTH ELEVATION
1/4" = 1'-0"



1 ADU - EAST ELEVATION
1/4" = 1'-0"

NOTE:
FOR ITEMS NOT NOTED, RE: 2/A3.01

KEY - REDFIELD RESIDENCE
SOUTH MAIN LOT 7-6
BUENA VISTA, COLORADO

DATE: JULY 30, 2022
PROJECT NUMBER: 25-010
ELEVATIONS

A3.01