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Studio Mork, LLC assumes no liability for any home or any portion thereof, which may be constructed from these plans. It is the responsibility of the purchaser of these plans to meet and comply with the following prior to the start of construction.

1. These plans are the property of Studio Mork, LLC. These plans are protected by Federal Copyright Laws. Any use of the information contained herein, or any duplication, publication, sale or distribution of any part of these Plans without prior written consent of Studio Mork, LLC represents a violation of Federal Laws subject to the prescribed penalties.

2. A purchase of prints or digital PDF grants the Purchaser as "Licensee" the right to use such documents, "Plans" for the construction of a single building. Purchaser acknowledges that all rights of ownership, title, and interest in the copyrights, plans remain with Studio Mork, LLC.

3. Any use of these plans, or modifications thereto, by purchasers, contractors, builders, or others, is performed at their own risk. The information contained within these construction documents is issued to show design intent and basic framing details. It is the contractor/builder's responsibility to provide standard construction detailing and practices, which will provide a structurally sound and weatherproof finished product. The contractor/builder shall resolve any discrepancies or problems observed or perceived prior to starting construction of such items.

4. Building codes vary depending on differences in geography and climate in different regions. Each state, county, and municipality has its own building codes, zoning requirements, ordinances and building regulations. Plans may need to be modified to comply with local requirements regarding snow loads, energy codes, soil and seismic conditions and a wide range of other influences. It is the purchaser's responsibility to consult with the proper construction professional(s) to ascertain if the plans comply with the codes governing the licensee's building site and, if necessary, make any changes or verifications required.

5. These plans do not include any plumbing, heating or air conditioning plans due to the wide variety of codes and basic climatic conditions. A local electrical engineer, mechanical engineer or contractor/builder shall coordinate these items, as they may be required for permits and construction. The foundation plan and associated details are provided as a basic guide for a basement space, where applicable, with CMU, ICF, or poured in place concrete walls and a wood framed system. Exact site conditions may vary and require stepped foundation, increased wall height, etc. The design should be verified according to its appropriateness to the region it is being built within. A local architect or licensed engineer shall provide a site specific foundation design where deemed necessary by the builder or governing Authority Having Jurisdiction.

6. These plans provide ideas and concepts and are not intended to be complete in all respects and details. Use of a potential variety of window or door brands and types and uses of different materials and thicknesses can change details. Additionally, varying codes and regulations, foundation requirements and the omission of electrical and mechanical plans can also change details.

7. It is the contractor/builder's responsibility to assure that all work is in strict accordance with the locally adopted and applicable National, State, and Local Building Codes. It is the contractor/builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable Construction Standards.

8. It is the contractor/builder's responsibility to assure that all manufactured articles, material, and equipment are applied, installed, connected, erected, used, cleaned, adjusted, operated, and conditioned as directed by the manufacturers recommendations/requirements, unless herein specified to the contrary. The contractor/builder shall follow all instructions to sustain and preserve all expressed or implied warranties and guarantees.

9. It is the contractor/builder's responsibility to assure that all material, equipment and components are new and of good quality.

10. It is the contractor/builder's responsibility to check all plan dimensions and details for overall accuracy appropriate to the site and final selection of masonry, floor joists, lumber structural members, veneer, roofing, etc., all of which can create revised dimensions and details. For example, substitution of alternate floor framing type could adjust floor thickness and require adjustment to stair riser dimensions/quantity, etc. THIS REVIEW SHALL OCCUR PRIOR TO START OF CONSTRUCTION. The contractor/builder shall notify Studio Mork, LLC of any discrepancies or substitutions prior to start of construction.

11. Material/manufacture selections of elements/features that are visible from the exterior shall be in accordance with South Main PUD Design Standards and/or shall be submitted, reviewed, and approved by the Local Design Review Board. Elements of suggested design approval include but are not limited to, exterior light fixtures, porch flooring materials, and door/window/house color scheme.

12. Names of materials and manufacturers shown on the plans do not represent any endorsement or recommendation by Studio Mork, LLC. Final selections of materials to be used are the responsibility of the homeowner and/or builder, including but not limited to proper installation of materials, nailing, gluing, caulking, insulation, flashing, roofing, weatherproofing, and many other small items and details not necessarily indicated on the plans over which Studio Mork, LLC has no control or responsibility. Studio Mork, LLC shall not be held liable for any errors, omissions, or deficiencies in any form by any part whatsoever.

13. Disclaimer of Warranties: To the maximum extent permitted by law, Studio Mork, LLC disclaims all warranties, express or implied, including the implied Warranty of Merchantability and implied Warranty of Fitness for a particular purpose.

14. Limitation of Liability: Studio Mork, LLC shall not be liable for any special, consequential, incidental, or indirect damages arising from use of the Plans, including but not limited to damages for loss of anticipated profits or loss of business opportunity. To the extent permitted by law, any liability of the Licensor shall be limited to the retail price of the Plans.

15. Contractor shall have flexibility to substitute finishes and/or appliances, fixtures, cabinetry, hardware, doors, etc. where such alterations do not impact code related requirements.

NOTES

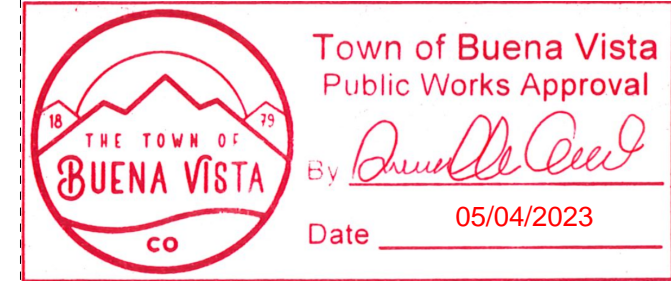
SOUTH MAIN

SMASHEY RESIDENCE

**SOUTH MAIN | LOT 9-5
BUENA VISTA, COLORADO**



NORTH ELEVATION



PROJECT DATA

APPLICABLE CODE(S):

- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2015 INTERNATIONAL FIRE CODE
- 2006 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 INTERNATIONAL FUEL & GAS CODE
- 2020 NATIONAL ELECTRICAL CODE

**USE AND OCCUPANCY
RESIDENTIAL**

**FIRE PROTECTION
NON-SPRINKLED**

**CONSTRUCTION TYPE
TYPE VB**

BUILDING HEIGHT

- MAIN HOUSE: 2 STORIES; HEIGHT 29'11" (FROM FRONTAGE SIDEWALK TO MIDPOINT OF ROOF)
- ACCESSORY DWELLING UNIT: 2 STORIES; HEIGHT 16'0" (FROM GRADE TO MIDPOINT OF ROOF)

ABBREVIATIONS

ALUM	ALUMINUM	EXT	EXTERIOR	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
ADU	ACCESSORY DWELLING UNIT	FOUND	FOUNDATION	PLYWD	PLYWOOD	V	VENT
AFF	ABOVE FINISH FLOOR	FT	FEET	PNT	PAINT	WD	WOOD
AHU	AIR HANDLING UNIT	GALV	GALVANIZED	PT	PRESSURE TREATED	WP	WEEP
BALC	BALCONY	GWB	GYPSPUM WALL BOARD	RCP	REFLECTED CEILING PLAN	WNDW	WINDOW
B O	BOTTOM OF	INSUL	INSULATION	RE	REFER TO		
CJ	CONTROL JOINT	INT	INTERIOR	REC	RECOMMENDED		
CL	CENTERLINE	IN	INCH	REIN	REINFORCING		
COMM	COMMERCIAL	KDAT	KILN DRIED AFTER TREATMENT	REQ	REQUIRED		
COMP	COMPRESSIBLE	MAX	MAXIMUM	SECT	SECTION		
CONC	CONCRETE	MECH	MECHANICAL	SPEC	SPECIFICATION		
CONT	CONTINUOUS	MFR	MANUFACTURER	STL	STEEL		
CORR	CORRUGATED	MH	MAIN HOUSE	STRUCT	STRUCTURAL		
DIA	DIAMETER	MIN	MINIMUM	TEMP	TEMPERATURE		
DIM	DIMENSION	MTL	METAL	T O	TOP OF		
DS	DOWNSPOUT	NOM	NOMINAL	TYP	TYPICAL		
DTL	DETAIL						
ELEC	ELECTRICAL						
ELEV	ELEVATION						

BUILDING AREA (GROSS)

MAIN HOUSE CONDITIONED	1,733
FIRST FLOOR	1045
SECOND FLOOR	688
MAIN HOUSE UNCONDITIONED	
PORCH	135
ADU CONDITIONED	464
FIRST FLOOR	312
SECOND FLOOR	152

BUILDING ENVELOPE REQUIREMENTS (IECC Table 402.1.1)
CLIMATE ZONE 6; RESIDENTIAL

ROOFS
ATTIC & OTHER

IECC REQUIRED: R-49*

WALLS, ABOVE GRADE
WOOD FRAMED WALL

IECC REQUIRED: R-29 OR 13+5

FLOORS
JOIST FRAMING

IECC REQUIRED: R-30

SLAB-ON GRADE
UNHEATED SLABS
HEATED SLABS

IECC REQUIRED: 10, 4 FEET
15, 4 FEET

* AS PER IECC 402.2.1 R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES.

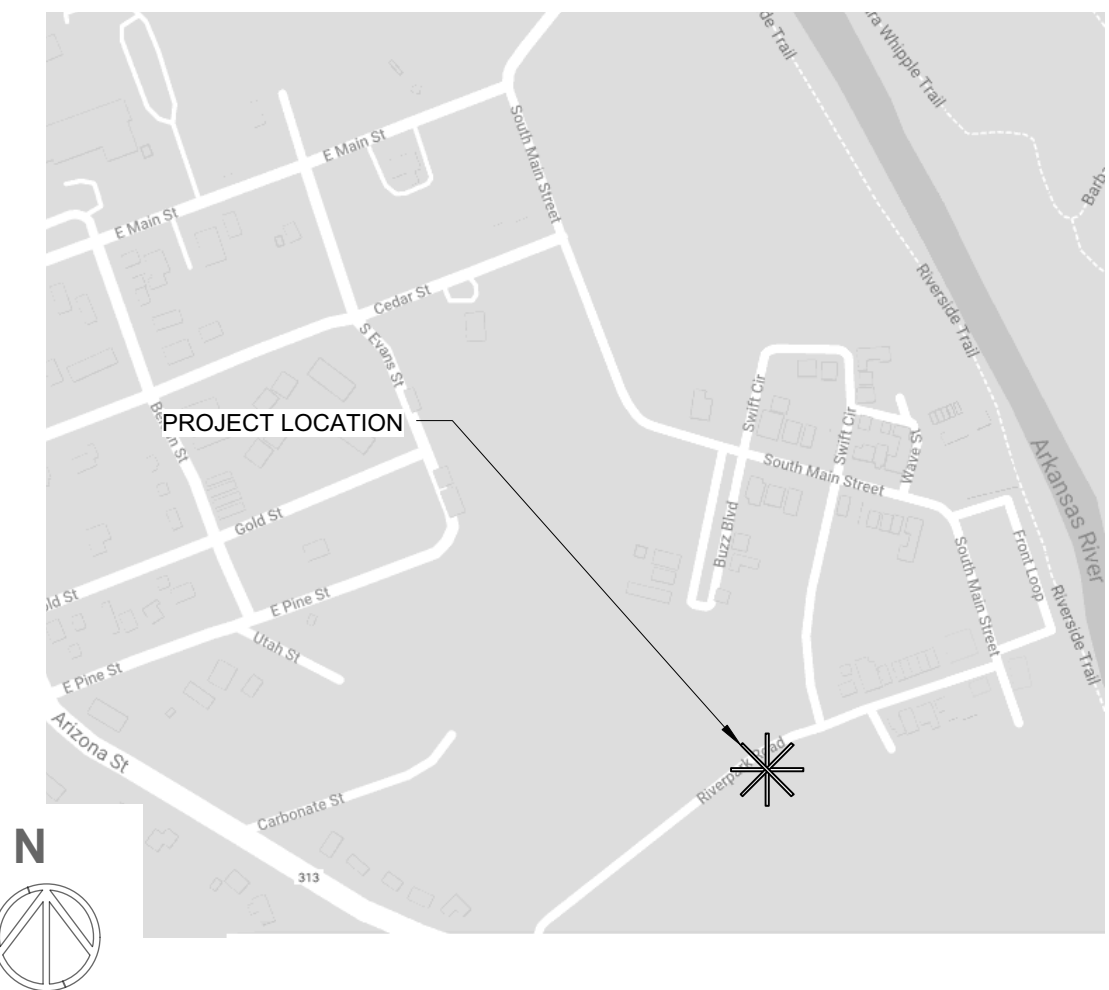
AS PER IECC 402.2.2 FOR CEILINGS WITHOUT ATTICS, R-30 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR VALUES ABOVE R-30 WHERE THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE MINIMUM REQUIRED INSULATION; THIS REDUCTION SHALL BE LIMITED TO 500 SF OR 20% TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS

PROJECT TEAM

ARCHITECT	STUDIO MORK, LLC 210 MARY STREET DOWNTOWNTOWN, PA 19335 (T) 630.207.1071
STRUCTURAL CONSULTANT	ABE HACHMANN HACHMANN DESIGN & ENGINEERING BUENA VISTA, COLORADO (T) 720.201.6303
CONTRACTOR	BUENA VISTA CONTRACTORS, INC BUENA VISTA, COLORADO (T) 719.221.6423

SHEET INDEX

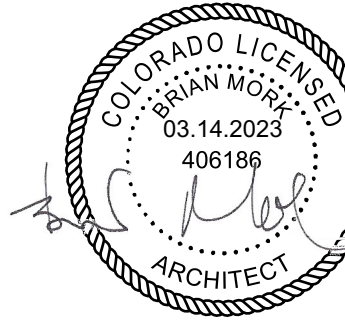
REVISION	SHEET NUMBER	TITLE
	T0.00	TITLE PAGE
	A0.01	PROJECT NOTES
	A0.02	PROJECT NOTES
	A0.10	RATED ASSEMBLY
	A1.00	SITE PLAN
	A2.00	MAIN HOUSE PLANS
	A2.01	MAIN HOUSE FRAMING PLANS
	A2.10	ADU PLANS
	A2.11	ADU FRAMING PLANS
	A3.00	ELEVATIONS
	A3.01	ELEVATIONS
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	A3.31	MAIN HOUSE CHIMNEY SECTIONS
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	A3.40	ADU SECTIONS & DETAILS
	A3.41	ADU DETAILS
	A3.50	WINDOW & DOOR DETAILS
	A3.60	EXTERIOR PROFILES
	A5.00	INTERIOR ELEVATIONS
	A5.01	INTERIOR ELEVATIONS
	A5.10	INTERIOR ELEVATIONS
	E1.00	ELECTRICAL PLANS



STUDIO MORK, LLC
210 Mary Street
Downtown, PA 19335
BRIAN MORK - ARCHITECT
630.207.1071 (T)
brian@studiomork.com
www.studiomork.com

BUENA VISTA CONTRACTORS, INC
BUENA VISTA, COLORADO

BUILDER
719.221.6423 (T)



100% CONSTRUCTION DOCUMENTS FOR PERMIT & CONSTRUCTION

SMASHEY RESIDENCE
SOUTH MAIN LOT 9-5
BUENA VISTA, COLORADO

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DATE: MARCH 14, 2023
PROJECT NUMBER: 22-017

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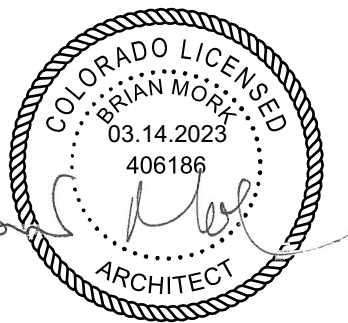
PUBLIC WORKS NOTES:
 - CURB VALVE TO BE INSTALLED IN A PROTECTED, ACCESSIBLE LOCATION ON PROPERTY OWNER SIDE OF SIDEWALK.



STUDIO MORK, LLC
 210 Mary Street
 Downingtown, PA 19335
BRIAN MORK - ARCHITECT
 630.207.1071 (T)
 bmark@studiomork.com
 www.studiomork.com

BUENA VISTA CONTRACTORS, INC
 BUENA VISTA, COLORADO

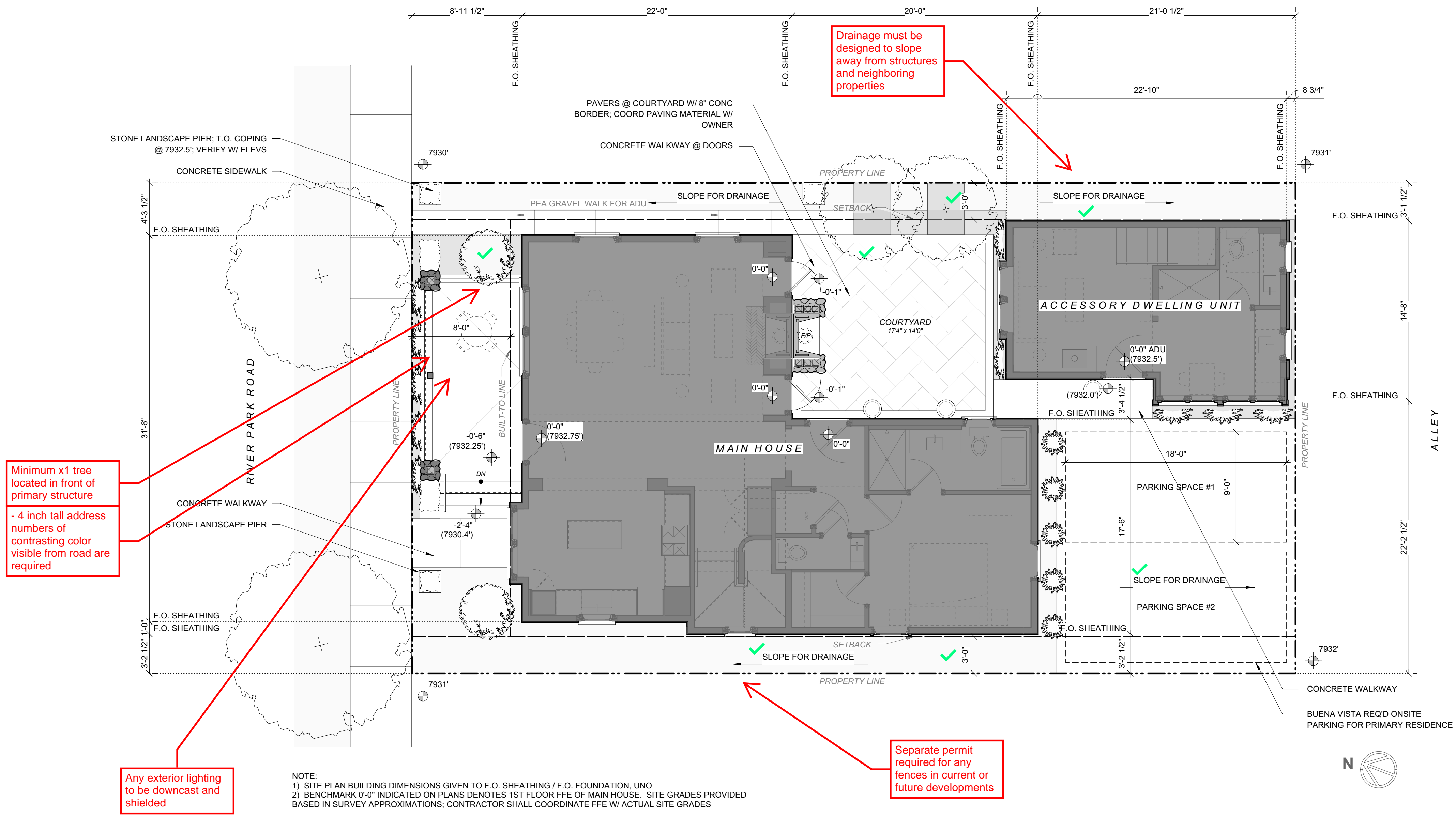
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100% CONSTRUCTION DOCUMENTS FOR PERMIT & CONSTRUCTION.

LANDSCAPING DATA	
LOT AREA (SF)	
TOTAL LOT AREA	2880
LANDSCAPE AREA	531
LANDSCAPE AREA AS PERCENTAGE OF LOT	
	18%

SITE AREA DATA	
MAIN RESIDENCE	
FIRST FLOOR	1045
SECOND FLOOR	688
TOTAL	1733
PORCH	167
NEW ADU	
FIRST FLOOR	312
SECOND FLOOR	152
TOTAL	464
ADU SF % OF MAIN RESIDENCE: 27%	
LOT COVERAGE: 53%	
LOT SIZE: 2880 SF	
MAIN HOUSE FOOTPRINT: 1045 SF	
ACSRY BLDG FOOTPRINT: 464 SF	



NOTE:
 1) SITE PLAN BUILDING DIMENSIONS GIVEN TO F.O. SHEATHING / F.O. FOUNDATION, UNO
 2) BENCHMARK 0'-0" INDICATED ON PLANS DENOTES 1ST FLOOR FFE OF MAIN HOUSE. SITE GRADES PROVIDED BASED IN SURVEY APPROXIMATIONS. CONTRACTOR SHALL COORDINATE FFE W/ ACTUAL SITE GRADES

1 SITE PLAN
 3/16" = 10'-0"

S MASHEY RESIDENCE
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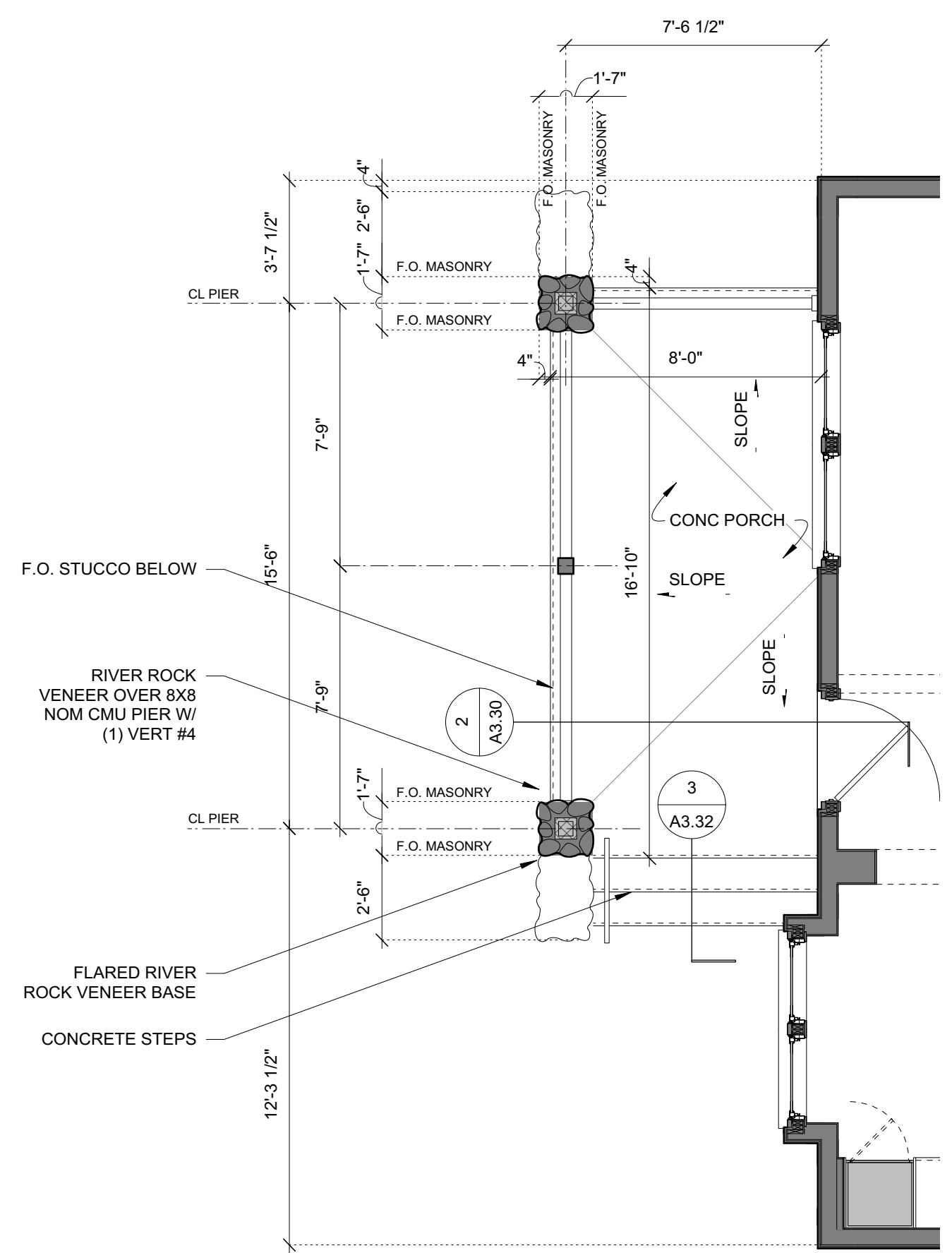
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SITE PLAN

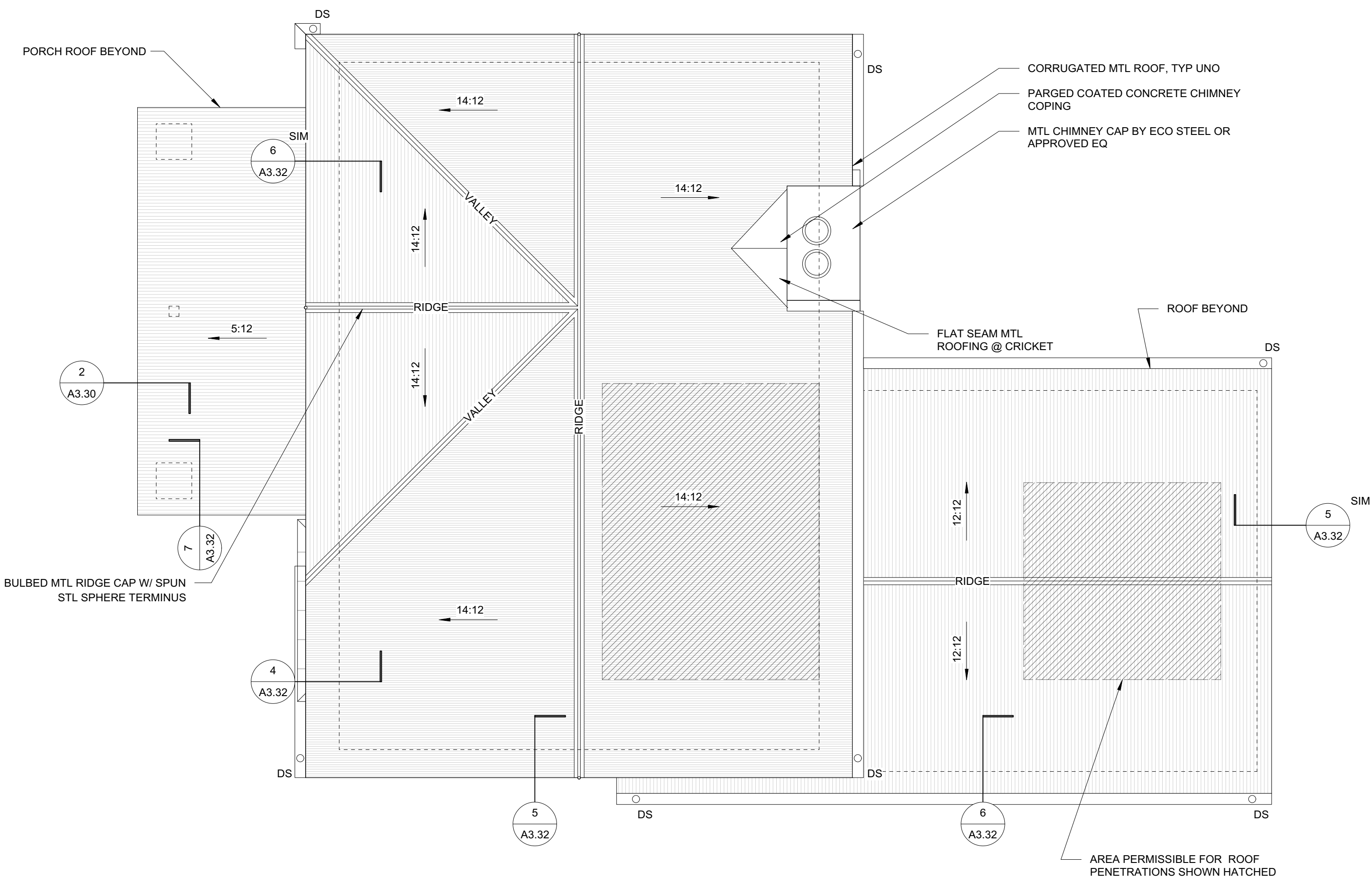
A1.00

SHEET SYMBOLS

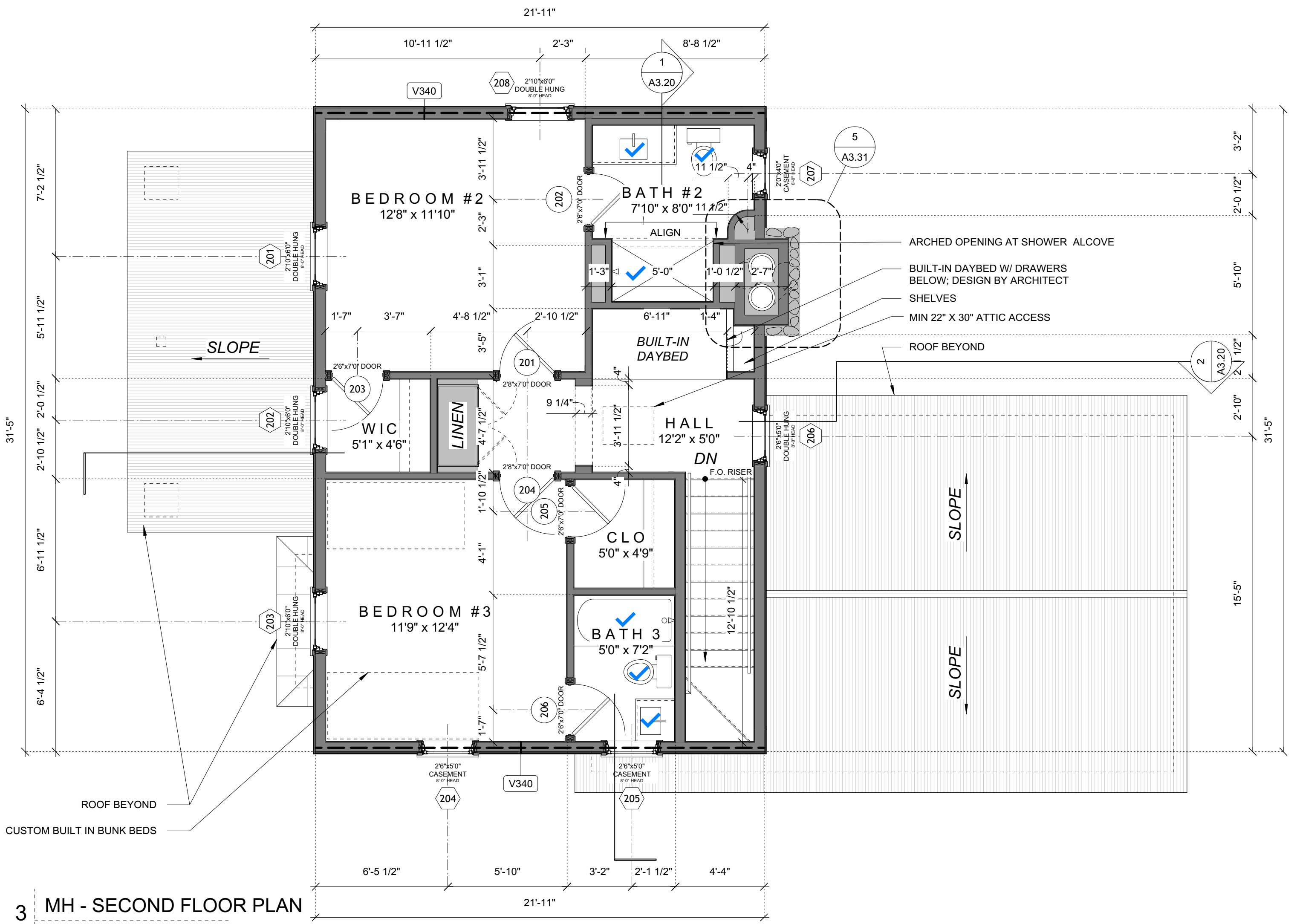
- 1/2 HOUR RATED FIRE PARTITION
- 1 HOUR RATED FIRE PARTITION
- 1 HOUR RATED FIRE BARRIER / EXTERIOR WALL



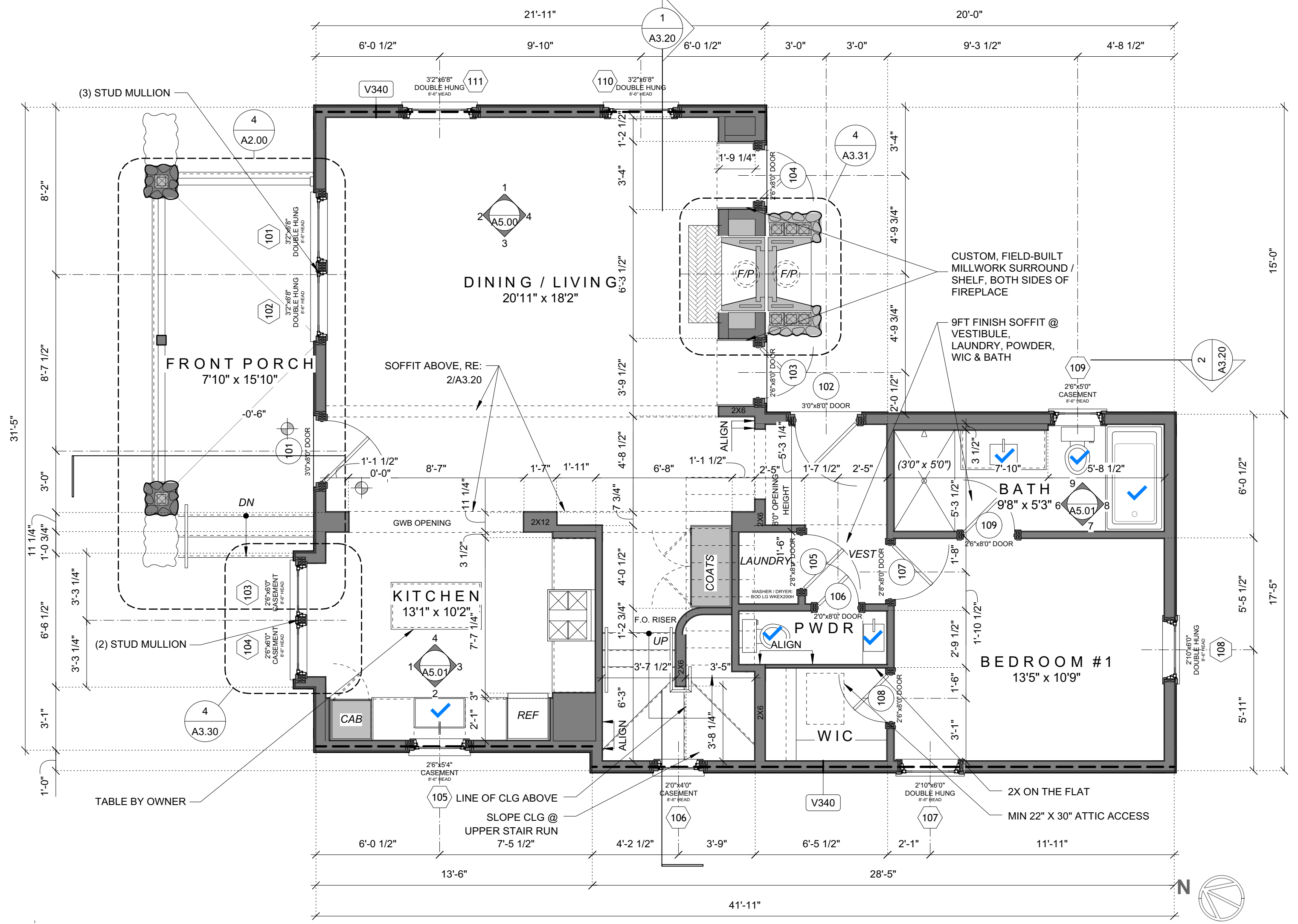
4 MH - FIRST FLOOR PORCH PLAN
1/4" = 1'-0"



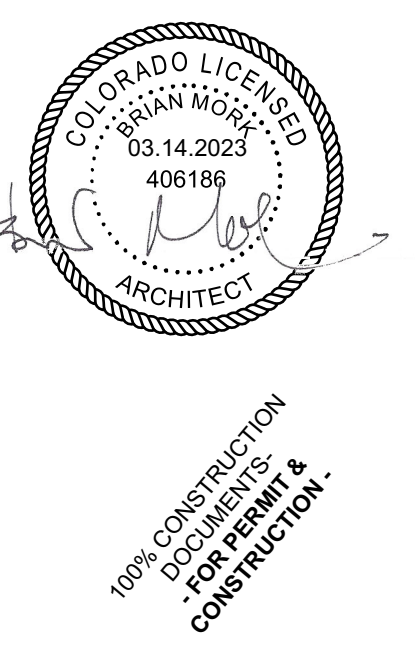
2 MH - ROOF PLAN
1/4" = 1'-0"



3 MH - SECOND FLOOR PLAN
1/4" = 1'-0"



1 MH - FIRST FLOOR PLAN
1/4" = 1'-0"



GENERAL NOTE:

1) FOR RATED CONSTRUCTION LOCATIONS, REFER TO UL ASSEMBLIES FOR ACCEPTABLE MATERIAL SPECIFICATIONS

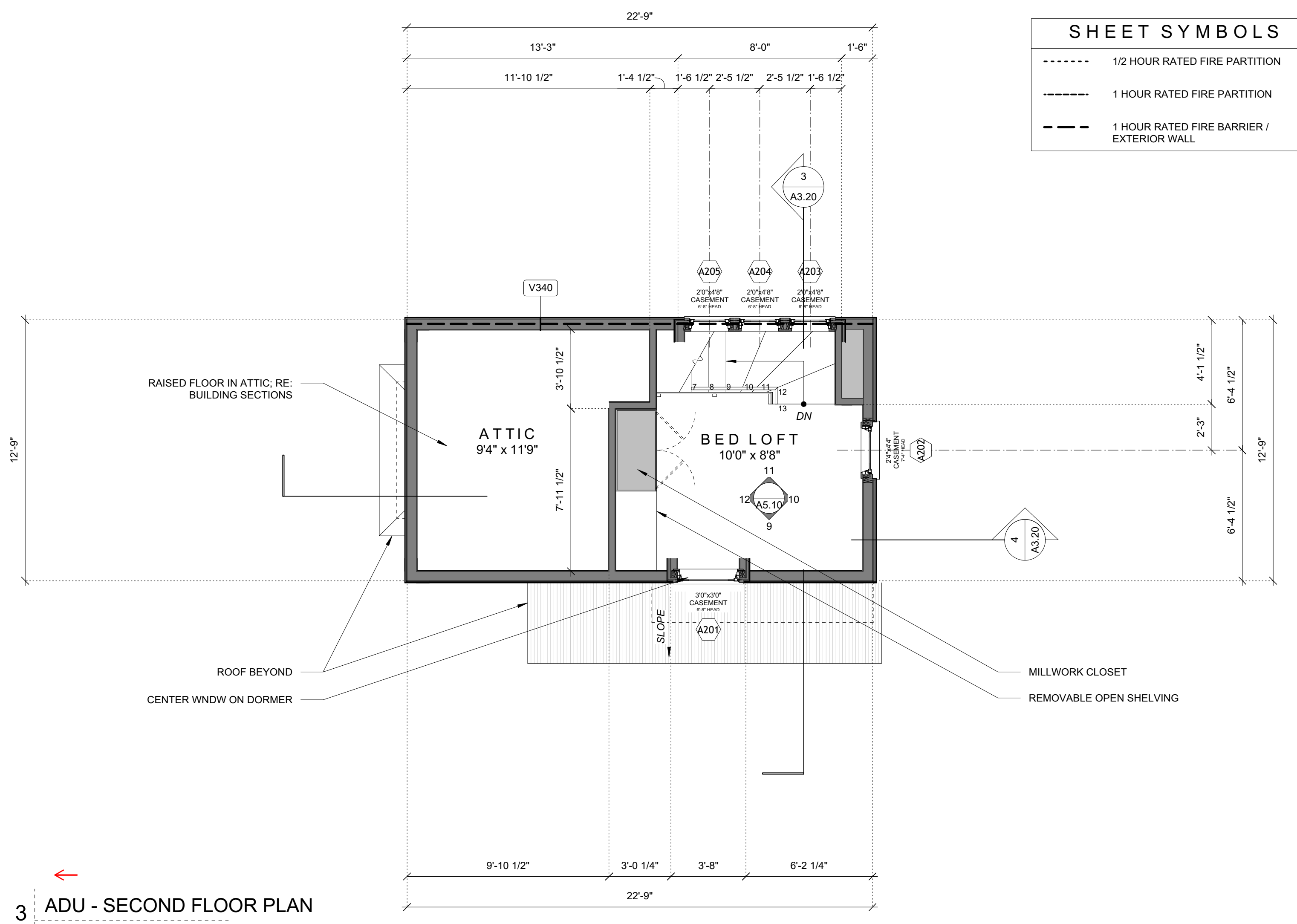
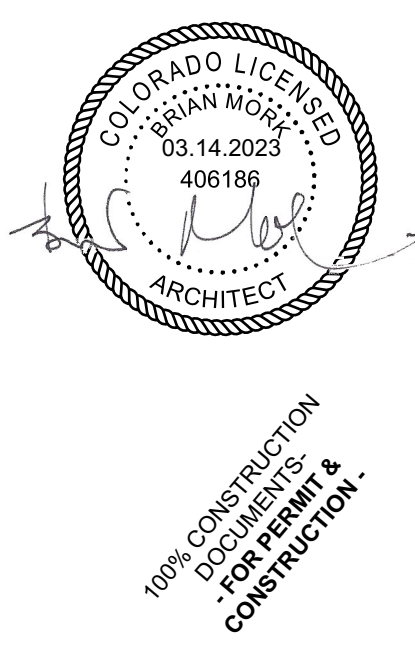
ADU STANDARDS:

- a. Each ADU shall contain a kitchen equipped, at a minimum, with an oven, a stove, a sink, and a refrigerator/freezer. The oven shall have a minimum capacity of 2.0 cubic feet and be installed in a permanent configuration with a slide-in appliance or installed and built-in into a wall cabinet. The stove shall have a minimum of two (2) burners. The refrigerator/freezer shall have a capacity not less than six (6) cubic feet. Countertop appliances shall not be allowed to meet the oven and/or stove requirements.
- b. Each ADU shall contain a bathroom equipped with, at minimum, a sink, a toilet, and a shower.
- c. No ADU shall contain more than two (2) bedrooms.
- d. The design, exterior treatments and color of an ADU shall be the same as, or compatible with, the design and exterior color and treatments of the principal building to which it is accessory.

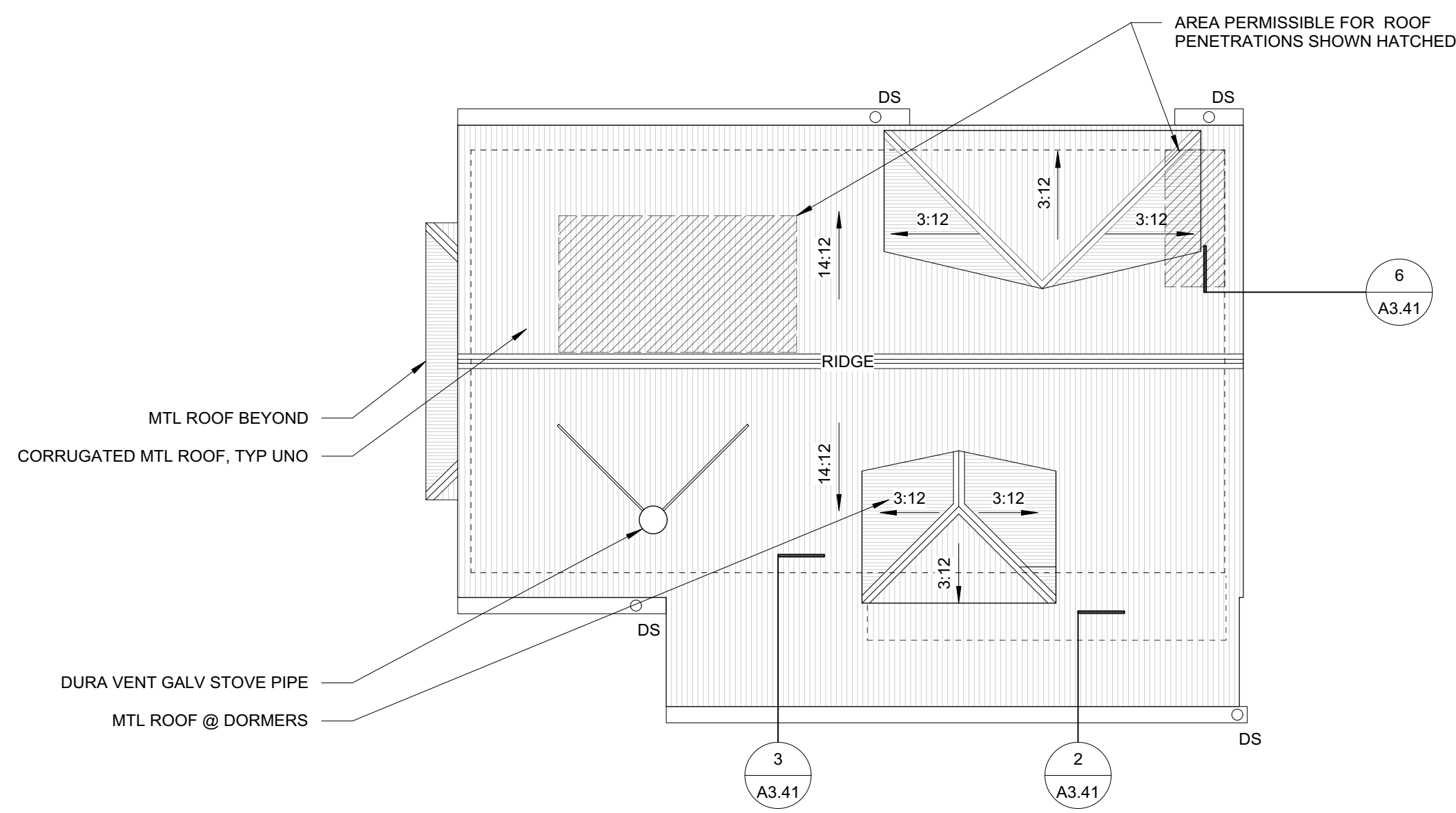
SHEET SYMBOLS	
-----	1/2 HOUR RATED FIRE PARTITION
-----	1 HOUR RATED FIRE PARTITION
-----	1 HOUR RATED FIRE BARRIER / EXTERIOR WALL

STUDIO MORK, LLC
210 Mary Street
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BRIAN MORK - ARCHITECT
630.207.1071 (T)
bmork@studiomork.com
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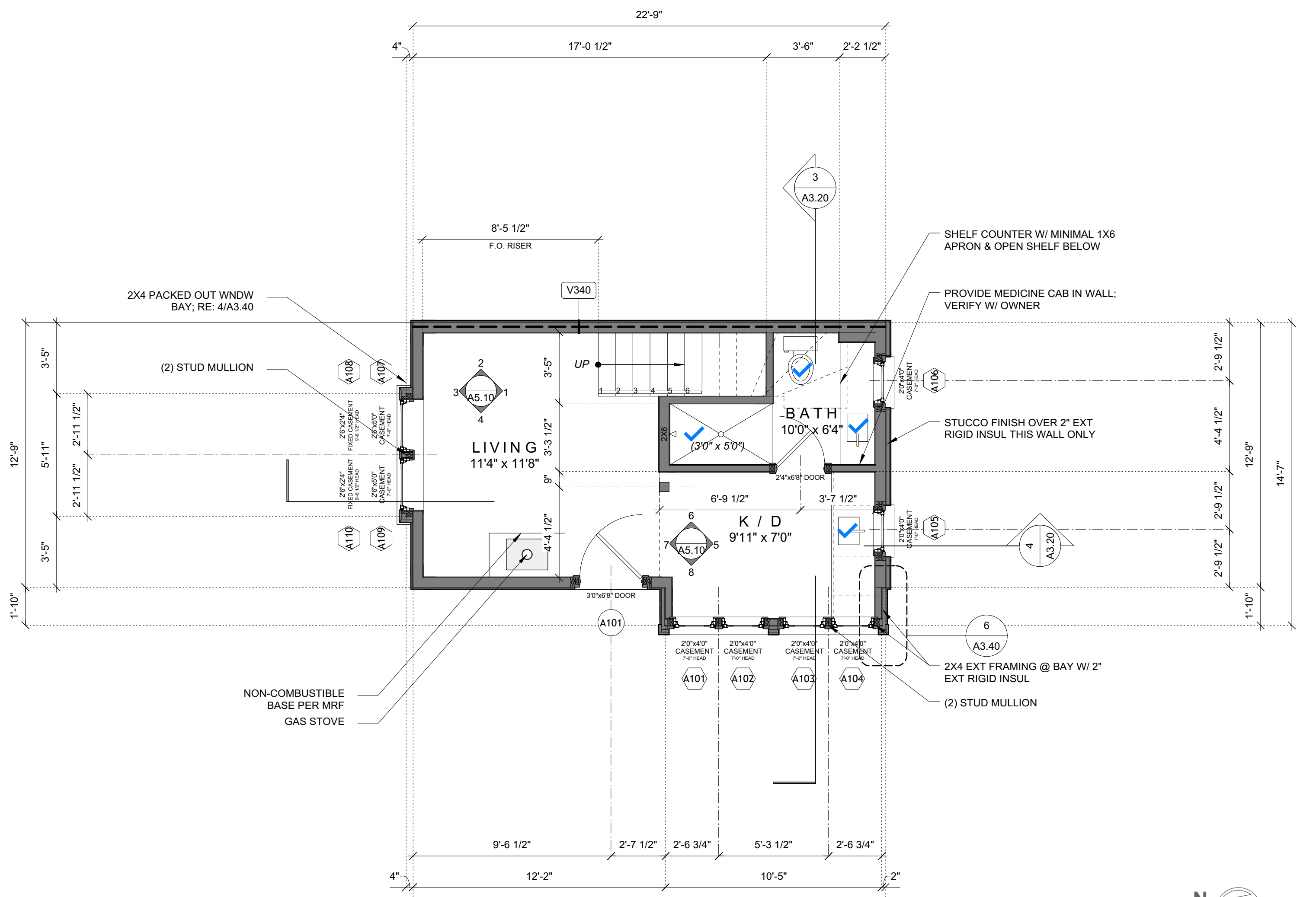
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BUENA VISTA, COLORADO
BUILDER
719.221.6423 (T)



3 ADU - SECOND FLOOR PLAN
1/4" = 1'-0"



2 ADU - ROOF PLAN
1/4" = 1'-0"



1 ADU - FIRST FLOOR PLAN
1/4" = 1'-0"

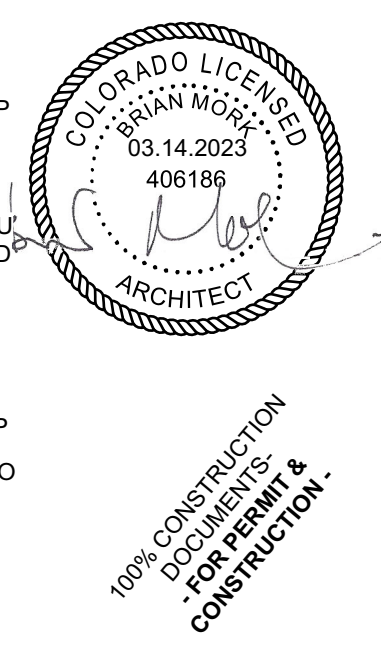
S MASHEY RESIDENCE
SOUTH MAIN LOT 9-5
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DATE: MARCH 14, 2023
PROJECT NUMBER: 22-017
ADU PLANS

A2.10

SHEET SYMBOLS	
(T)	TEMPERED GLASS
(E)	EGRESS WINDOW



4 WEST ELEVATION
 1/4" = 1'-0"

NOTE:
 FOR ITEMS NOT NOTED, RE: 1 & 2/A3.00



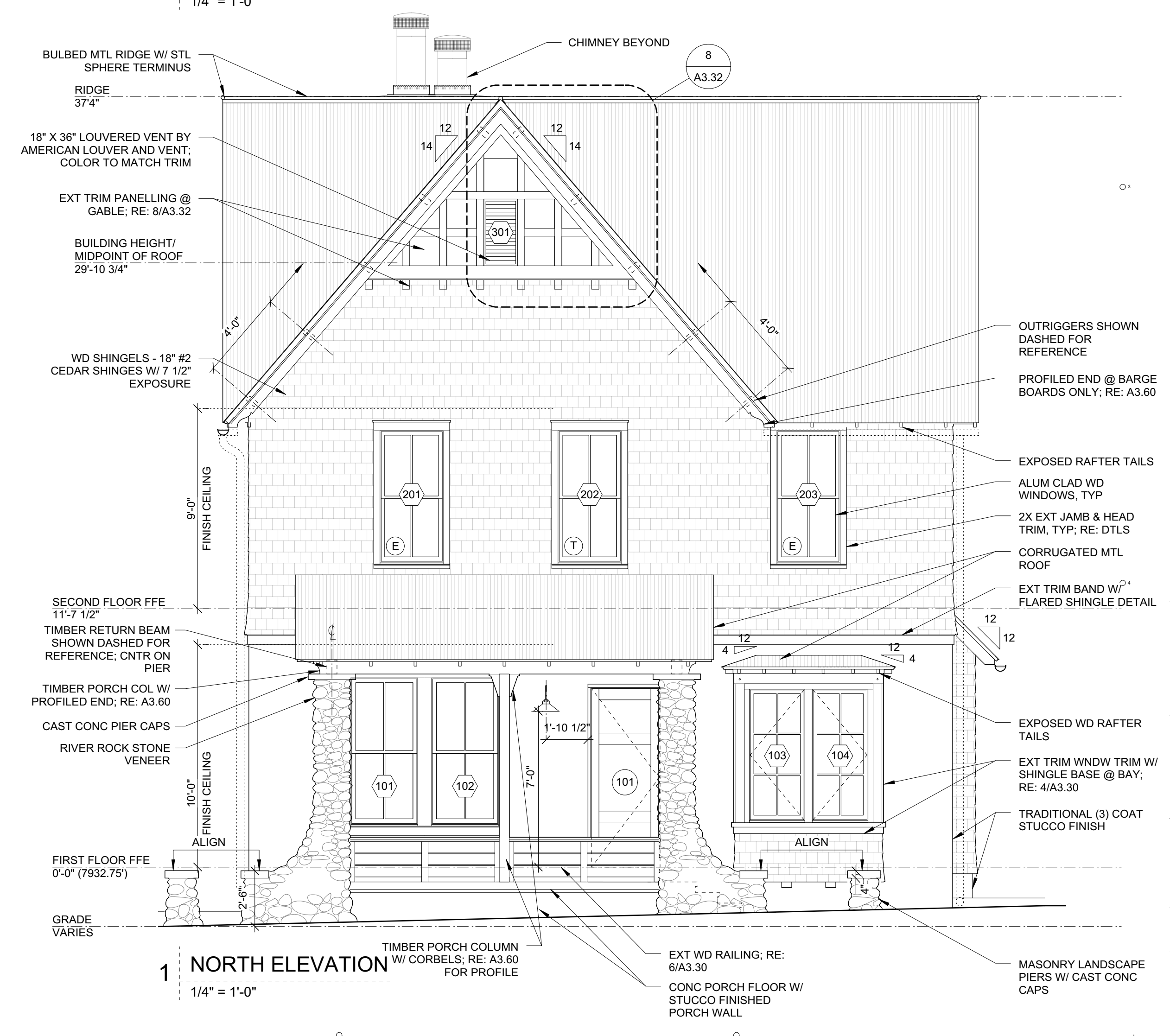
3 SOUTH ELEVATION
 1/4" = 1'-0"

NOTE:
 FOR ITEMS NOT NOTED, RE: 1&2/A3.00



2 EAST ELEVATION
 1/4" = 1'-0"

NOTE:
 FOR ITEMS NOT NOTED, RE: 1/A3.00



1 NORTH ELEVATION
 1/4" = 1'-0"

NOTE:
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DATE
 MARCH 14, 2023
 PROJECT NUMBER
 22-017
 ELEVATIONS

A3.00